



- ❑ **Location:** NEC of Mandarin Dr and Riggs Rd in Queen Creek, AZ.
- ❑ **Size:** 16 P & E Lots
- ❑ **APN:** 304-90-430A
- ❑ **Zoning:** R1-43 (City of Queen Creek)
- ❑ **Price:** Submit
- ❑ **Utilities:**
 - All utilities to site
 - Sewer is served by Septic
- ❑ **Comments:** Seller to deliver 16 one acre lots (Known as Estates at Picket Post). Final Plat anticipated November 1, 2019. One of the few properties located along the Riggs Corridor, with utilities and entitlements in place. Queen Creek has become one of the fastest growing sub-markets within the Valley.

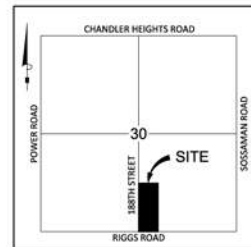
16 P & E LOTS | QUEEN CREEK, AZ





FINAL PLAT OF PICKET POST

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 7 EAST, OF THE
GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



VICINITY MAP
N.T.S.

Bowman
CONSULTING
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FINAL PLAT
PICKET POST
QUEEN CREEK, ARIZONA

DATE	REVISION
1/10/19	

DATE	1/10/19
PROJ. NO.	9832-02
TASK NAME	002
DRAWN BY	DT
CHECKED BY	DT
QUALITY	JS
CLIENT NO.	
SCALE	N.T.S.
1 OF 2	

DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

THAT POWER AND RIGGS 72, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER, HAS SUBDIVIDED UNDER THE NAME "PICKET POST", A PORTION OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, AS SHOWN PLATTED HEREIN, AND DOES HEREBY PUBLISH THIS PLAT AS AND FOR THE PLAT OF SAID "PICKET POST", AND HEREBY DECLARES THAT SAID PLAT SETS FORTH THE LOCATIONS AND GIVES THE DIMENSIONS OF THE LOTS, TRACTS, STREETS AND EASEMENTS CONSTITUTING SAME, AND THAT EACH LOT, TRACT, STREET AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER OR NAME GIVEN TO EACH, RESPECTIVELY ON SAID PLAT, AND THAT POWER AND RIGGS 72, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER, HEREBY DEDICATES TO THE PUBLIC FOR USE AS SUCH STREETS, AND OTHER EASEMENTS AS SHOWN ON SAID PLAT AND INCLUDED IN THE ABOVE DESCRIBED PREMISES.

OWNER HEREBY DEDICATES AND CONVEYS TO THE TOWN OF QUEEN CREEK ALL REAL PROPERTY DESIGNATED ON THIS PLAT AS "RIGHT-OF-WAY" FOR USE AS PUBLIC RIGHT-OF-WAY.

ALL TRACTS THAT WILL NOT BE CONVEYED TO THE TOWN OF QUEEN CREEK AND ALL COMMON PROPERTY SHALL BE IMPROVED IN ACCORDANCE WITH PLANS APPROVED BY THE TOWN OF QUEEN CREEK AND SHALL BE CONVEYED BY WARRANTY (OR SPECIAL WARRANTY) DEED TO THE PICKET POST COMMUNITY ASSOCIATION. THE PICKET POST COMMUNITY ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE COMMON PROPERTY.

TRACTS "A" AND "B" ARE NOT DEDICATED TO THE PUBLIC, BUT ARE PLATTED AS COMMON PROPERTY FOR THE USE AND ENJOYMENT OF THE PICKET POST COMMUNITY ASSOCIATION, AS MORE FULLY SET FORTH IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS.

THE MAINTENANCE OF LANDSCAPING WITHIN THE PUBLIC RIGHT-OF-WAY TO BACK OF CURB INCLUDING MEDIANS SHALL BE THE RESPONSIBILITY OF THE PICKET POST COMMUNITY ASSOCIATION OR ABUTTING PROPERTY OWNER.

ALL PROPERTY, AMENITIES AND FACILITIES PROPOSED TO BE MAINTAINED BY THE PICKET POST COMMUNITY ASSOCIATION ARE HEREWIT PLATTED AS COMMON PROPERTY WITH AN UNDIVIDED INTEREST OWNED IN COMMON BY EACH PARCEL OWNER.

EASEMENTS ARE GRANTED FOR THE PURPOSES SHOWN HEREON.

IN WITNESS WHEREOF:

POWER AND RIGGS 72, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, HAS HERETO CAUSED ITS NAME TO BE AFFIXED AND THE SAME TO BE ATTESTED BY THE SIGNATURE OF THE OFFICER LISTED BELOW, THEREUNTO DULY AUTHORIZED.

POWER AND RIGGS 72, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY

BY: _____

ITS: _____

ACKNOWLEDGMENT

STATE OF ARIZONA

COUNTY OF MARICOPA

ON THIS _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED _____, WHO ACKNOWLEDGED SELF TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE INSTRUMENT WITHIN, AND WHO EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC DATE _____

MY COMMISSION EXPIRES: _____

LEGAL DESCRIPTION

THE WEST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA.

BASIS OF BEARINGS

NORTH 89 DEGREES 45 MINUTES 11 SECONDS WEST ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

NOTES

- NO STRUCTURES OR VEGETATION OF ANY KIND MAY BE CONSTRUCTED OR ANY VEGETATION PLANTED NOR ALLOWED TO GROW WITHIN OR ACROSS NOR SHALL OTHER IMPROVEMENTS OR ALTERATIONS BE MADE TO THE DRAINAGE FACILITIES OR EASEMENTS WHICH WOULD IMPAIR THE FLOW OF WATER OVER, UNDER OR THROUGH THE EASEMENTS THAT ARE A PART OF THIS DEVELOPMENT WITHOUT WRITTEN AUTHORIZATION OF THE TOWN. THE TOWN MAY, IF IT SO DESIRES, CONSTRUCT AND/OR MAINTAIN DRAINAGE FACILITIES ON OR UNDER THE LAND OF THE EASEMENT.
- IN EASEMENTS FOR THE EXCLUSIVE USE OF WATER, SANITARY SEWER, OR ANY COMBINATION THEREOF, ONLY GROUND COVER AND BUSHES ARE ALLOWED TO BE PLANTED WITHIN THE EASEMENT AREA. NO TREES ARE ALLOWED.
- ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND WITH THE EXCEPTION OF POWER LINES WHICH ARE 69KV LINES OR MORE.
- ELECTRICAL LINES SHALL BE CONSTRUCTED UNDERGROUND AS REQUIRED BY ARIZONA CORPORATION COMMISSION.
- CONSTRUCTION WITHIN UTILITY EASEMENTS SHALL BE LIMITED TO UTILITIES AND DRIVEWAYS.
- ALL RETENTION BASINS MUST BE MAINTAINED TO DRAIN WITHIN (30) THIRTY-SIX HOURS AFTER ANY STORM EVENT UP TO AND INCLUDING THE 100-YEAR 2 HOUR STORM. THE OWNERS OF ANY SUCH BASINS FAILING TO MEET THIS REQUIREMENT MUST TAKE CORRECTIVE ACTION TO BRING THE BASINS INTO COMPLIANCE.
- THE TOWN OF QUEEN CREEK IS NOT RESPONSIBLE FOR AND WILL NOT ACCEPT MAINTENANCE OF ANY LANDSCAPED AREAS WITHIN THIS PROJECT. THE PICKET POST COMMUNITY ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF LANDSCAPING WITHIN TRACTS "A" AND "B".
- THIS SITE IS NEAR CRUSH DUSTING OPERATIONS, GENERAL AGRICULTURE OPERATIONS ALSO EXIST IN THE AREA AND THIS SITE MAY BE SUBJECT TO NOISE, DUST AND POSSIBLY ODORS NORMALLY ASSOCIATED WITH AGRICULTURAL OPERATIONS. ADDITIONALLY, THIS SITE IS LOCATED IN AN AREA WHERE THERE ARE AIRCRAFT OPERATIONS ASSOCIATED WITH AGRICULTURE.
- LOT, TRACT, PARCEL AND, CENTERLINE MONUMENTATION ARE OR WILL BE PERMANENTLY SET BY COMPLETION OF CONSTRUCTION, BY THE RESPONSIBLE SURVEYOR HIRED BY POWER AND RIGGS 72, L.L.C. OR THEIR ASSIGNEE.

OWNER

POWER AND RIGGS 72, L.L.C.
7317 E GREENWAY ROAD
SCOTTSDALE, AZ 85260
PHONE: (480) 344-7200
CONTACT: BILL HAWKINS

ENGINEER

BOWMAN CONSULTING
1295 W. WASHINGTON STREET #108
TEMPE, AZ 85281
PHONE: (480) 629-8830
CONTACT: JOHN GRAY

SHEET INDEX

- COVER, NOTES, DEDICATION, SITE DATA, BASIS OF BEARINGS, CERTIFICATIONS
- FINAL PLAT PLAN SHEETS, TRACT AREA & USAGE TABLE, LINE & CURVE TABLES

SITE DATA

ZONING R1-43
NUMBER OF LOTS 16
GROSS AREA 885,326 SQ.FT. OR 20.3243 ACRES, MORE OR LESS
NET AREA 727,736 SQ.FT. OR 16.7065 ACRES, MORE OR LESS

HOMEOWNERS RATIFICATION

BY THIS RATIFICATION _____ DULY ELECTED PRESIDENT OF THE PICKET POST COMMUNITY ASSOCIATION ACKNOWLEDGES THE RESPONSIBILITIES DEDICATED HEREIN.

SIGNATURE DATE _____

DEED RESTRICTIONS

COVENANTS, CONDITIONS AND RESTRICTIONS FOR PICKET POST, QUEEN CREEK, ARIZONA ARE RECORDED IN DOCUMENT NO. _____ MARICOPA COUNTY RECORDS, ARIZONA.

SURVEYOR'S CERTIFICATION

THIS IS TO CERTIFY THAT THIS PLAT IS CORRECT AND ACCURATE AND THE MONUMENTS DESCRIBED HEREIN HAVE EITHER BEEN SET OR LOCATED AS DESCRIBED TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Douglas B. Toney 1/10/19
DOUGLAS B. TONEY
REGISTERED LAND SURVEYOR NO. 55630
BOWMAN CONSULTING
1295 W. WASHINGTON STREET, #108
TEMPE, AZ 85281



DEPARTMENT APPROVALS

BY: TOWN ENGINEER DATE _____

BY: TOWN PLANNING ADMINISTRATOR DATE _____

TOWN APPROVAL

APPROVED BY THE TOWN COUNCIL OF QUEEN CREEK, ARIZONA, THIS
DAY OF _____, 20____.

BY: _____ ATTEST: _____

MAYOR TOWN CLERK

ASSURED WATER SUPPLY

THE ARIZONA DEPARTMENT OF WATER RESOURCES HAS GRANTED A CERTIFICATE OF ASSURED WATER SUPPLY, DWR FILE NO. _____ AND IN FILE NO. _____

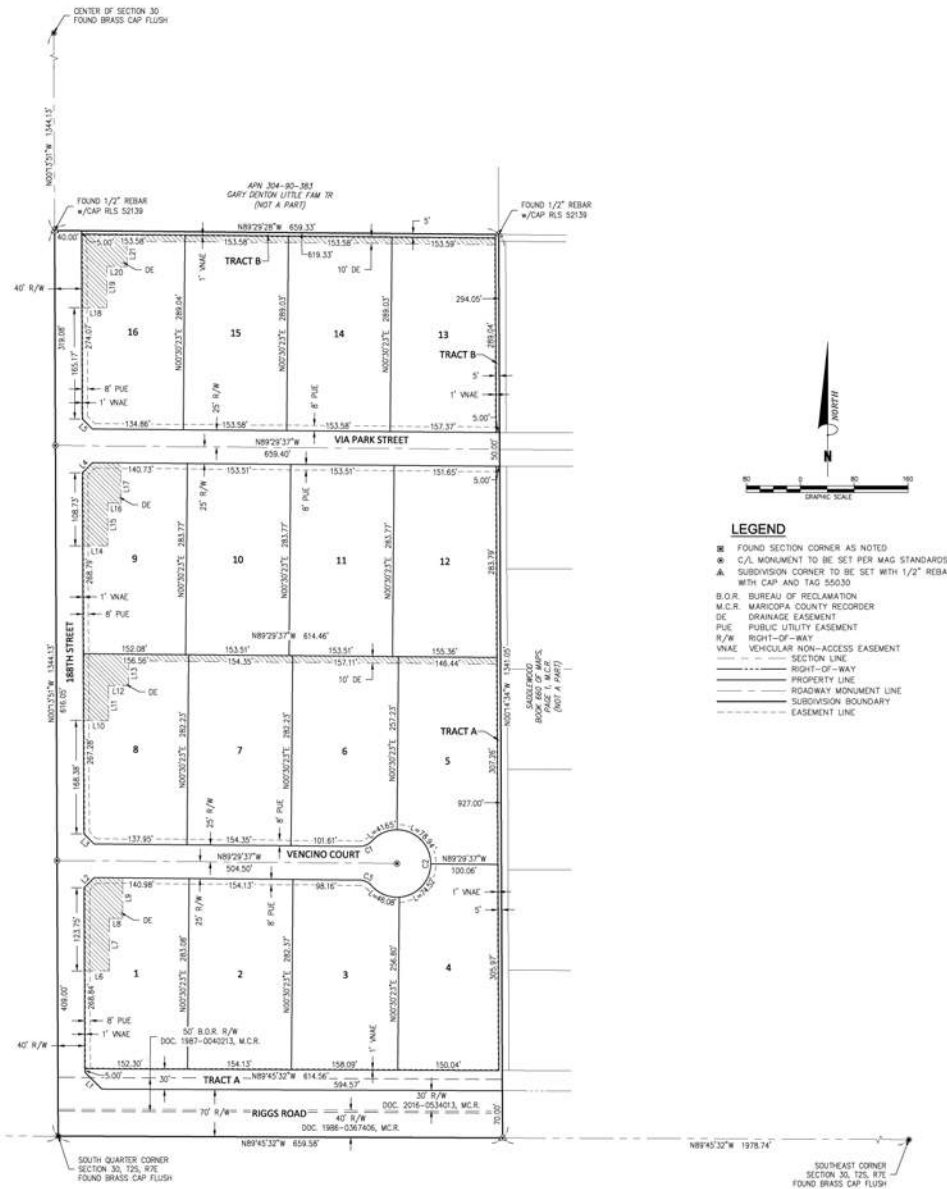
ASSURANCE STATEMENT

ASSURANCE IN THE FORM OF A CASH, PERFORMANCE OR SUBDIVISION BOND OR IRREVOCABLE LETTER OF CREDIT IN AN AMOUNT OF \$ _____ HAS BEEN DEPOSITED WITH THE TOWN ENGINEERING MANAGER TO GUARANTEE CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS.

TRACT AREA TABLE			
TRACT	SQ. FT.	ACRES	DESCRIPTION
TRACT A	22,759	0.5225	OPEN SPACE, LANDSCAPE, EQUESTRIAN EASEMENT
TRACT B	4,542	0.1043	OPEN SPACE, LANDSCAPE, EQUESTRIAN EASEMENT

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	21.03'	25.00'	048°11'23"
C2	241.19'	50.00'	276°22'46"
C3	21.03'	25.00'	048°11'23"

OVERALL AREA TABLE		
PARCEL	SQ. FT.	ACRES
BOUNDARY	885,326	20.3243
ROW	157,590	3.6178
NET	727,736	16.7065



LEGEND

- N FOUND SECTION CORNER AS NOTED
 S/CJ. MONUMENT TO BE SET PER MAG STANDARDS
 A. S/CJ. MONUMENT TO BE SET WITH 1/2" REBAR
 WITH CAP AND TAG 56530
 B.O.R. BUREAU OF RECLAMATION
 M.C.R. MARICOPA COUNTY RECORDER
 D.E. DRAINAGE EASEMENT
 PUE PUBLIC UTILITY EASEMENT
 R/W RIGHT-OF-WAY
 VNAE VEHICULAR NON-ACCESS EASEMENT
 ----- SECTION LINE
 ----- RIGHT-OF-WAY
 ----- PROPERTY LINE
 ----- ROADWAY MONUMENT LINE
 ----- SUBDIVISION BOUNDARY
 ----- EASEMENT LINE

FINAL PLAT
PICKET POST
QUEEN CREEK, ARIZONA



3. THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE PRESENTED TO THE ENGINEER. ANYONE WHO TAKES UPON THEMSELVES THE INTERPRETATION OF THE PLANS OR OTHERWISE FAILS TO CONSULT WITH THE ENGINEER CONCERNING THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR THE CONSEQUENCES THEREOF.

4. THE ESTIMATED QUANTITIES SHOWN ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION, VALIDITY, ACCURACY AND COMPLETENESS OF A DETAILED ESTIMATE BASED ON THESE PLANS, CURRENT CODES AND SITE VISITATION.

5. ALL EARTHWORK QUANTITIES SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAILS AND/OR SPECIFICATIONS INCLUDING ANY SUPPLEMENTS THERETO, AND ALL ACCORDA, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION, VALIDITY, ACCURACY AND COMPLETENESS OF A DETAILED ESTIMATE BASED ON THESE PLANS, CURRENT CODES AND SITE VISITATION.

6. PRIOR TO BEING AWARD, THE CONTRACTOR SHALL THOROUGHLY SATISFY THEMSELVES AS TO THE ACTUAL CONDITIONS, REQUIREMENTS OF THE WORK AND EXCESS OR DEFICIENCY IN QUANTITIES. NO CLAIMS SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL, OR RELATIVE.

7. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES, SEQUENCES, OR SCHEDULES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION, VALIDITY, ACCURACY AND COMPLETENESS OF A DETAILED ESTIMATE BASED ON THESE PLANS, CURRENT CODES AND SITE VISITATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT.

7. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COORDINATING THE RELOCATION OF UTILITIES, POWER POLES, ETC.
8. THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SECTIONS OF ALL EXISTING SURFACES AT POINTS OF THE IR AND MATCHING POINTS TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER OR OTHER CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THE PLANS NOT ABLE TO BE ACCURATELY CONSTRUCTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS OF VERIFYING THE LOCATION OF ALL EXISTING UTILITIES.
9. EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED ACCORDING TO INFORMATION PROVIDED BY AN AGENCY OPERATING EACH UTILITY. LOCATIONS SHOWN ARE APPROXIMATE ONLY, AND SHOULD BE CONFIRMED APPROXIMATELY. EACH ARIZONA BLUE STATE LOCATION SHOWN AT 8" = 1' = 140-STATE, IF A MINIMUM TWO (2) INCHES FROM THE EXISTING UTILITY, SHALL BE CONSIDERED AS THE LOCATION OF THE UTILITY. IF THE UTILITY IS MORE THAN TWO (2) INCHES FROM THE EXISTING UTILITY, THE UTILITY SHALL BE CONSIDERED AS A NEW UTILITY. THE SITE NOT NOTED FOR RELOCATION OR REMOVAL. ANY DAMAGE TO EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES AND FENCING OUTSIDE OF THE CONSTRUCTION LIMITS SHALL BE REPLACED IN KIND IF DISTURBED.
10. THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION, OR VARIANCE FROM THE EXISTING UTILITIES SHOWN ON THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
11. ANY INSPECTION BY THE CITY, COUNTY, ENGINEER, OR OTHER JURISDICTIONAL AGENCY, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH APPLICABLE CITY, COUNTY, AND STATE LAWS AND ORDINANCES.
12. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UNDERGROUND FACILITIES FROM DAMAGE DURING CONSTRUCTION. THE DEPTH OF COVER IS DESIGNED FOR FINAL GRADE. THEREFORE, EXTRA CARE, SUCH AS BERING OVER PIPES, SHALL BE USED TO PROTECT UNDERGROUND FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UNDERGROUND FACILITIES AND SHALL BE RESPONSIBLE FOR PROTECTING UNDERGROUND FACILITIES FROM DAMAGE DURING CONSTRUCTION.
13. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO THE VARYING FIELD CONDITIONS, CHANGING SOIL TYPES, AND/OR VARYING EARTHWORK QUANTITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EARTHWORK QUANTITIES SHOWN ARE RAW, AND DO NOT ACCOUNT FOR SOIL, SHRINK, SWELL OR GROUND

1. A GRADING PERMIT SHALL BE REQUIRED

3. CONTRACTOR SHALL PROVIDE GRADING FOR POSITIVE DRAINAGE. IN ALL RETENTION BASINS AT ELEVATIONS AS SHOWN ON THE PLAN, THE TOP OF BASIN SHALL BE GRADED TO DRAIN TOWARD DRYWELLS (WHEN USED). MAXIMUM SLOPE SHALL BE 5:1.
 4. DRYWELLS INLET GRATE SHALL BE AT FINISH GRADE AT BOTTOM OF THE RETENTION BASIN.
 5. THE PLAN SHALL PROVIDE FOR THE FOLLOWING:
 - a. A MINIMUM OF TWO DRYWELLS PER BASIN.
 - b. A MINIMUM OF TWO DRYWELLS PER BASIN PRIOR TO FINAL ACCEPTANCE.
 - c. A PERCOLATION TEST WILL BE REQUIRED OF COMPLETED DRYWELLS PRIOR TO ACCEPTANCE, EXCEPT EXISTING DRYWELLS.
 - d. DRYWELLS SHALL BE CONSTRUCTED TO ALLOW FOR FUTURE ADDITIONAL DRYWELLS.
 - e. AN ALTERNATIVE METHOD OF STORM WATER RUNOFF DISPOSAL WILL BE REQUIRED.
 6. THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY SHALL BE NOTIFIED.
 7. ALL DRYWELLS SHALL BE REGISTERED WITH THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY.
 8. ALL DRYWELL REGISTRATION SHALL BE SUBMITTED TO THE TOWN BY THE DEVELOPER OR HIS ENGINEER AT THE TIME ALTHMS ARE SUBMITTED.
 9. THE TOWN MAINTENANCE PLAN SHALL BE PREPARED THAT PROVIDES FOR ROUTINE INSPECTION AND MAINTENANCE TO THE APPROVAL OF THE TOWN ENGINEERING MANAGER.
- CERTIFICATION OF FINISH FLOORS OR GRADE PAIDS IS THE RESPONSIBILITY OF THE DEVELOPER/BUILDER, ENGINEER, OR ARCHITECT. THE TOWN ENGINEERING MANAGER SHALL REVIEW THE CERTIFICATION.
4. A MAINTENANCE GRADING AND DRAINAGE PLAN SHALL BE ON THE SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE APPROVED BY A TOWN OF QUEEN CREEK APPROVED PLAN REVIEWER.
 5. ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, PILES, OR OTHER MEASURES DESIGNED TO PROTECT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO ANY STRUCTURE BEING BUILT.
 6. PREPARATION OF GROUND, THE AREA OVER WHICH FIELDS ARE TO BE MADE SHALL BE CLEARED OF ALL TREES, STUMPS, DEBRIS OR OTHER MATERIAL, NOT TO BE USED AS A FILL OR FILL FILL.
 7. LOCATION OF ALL UTILITIES SHOWN ON THE PLAN SHALL BE OBTAINED FROM INFORMATION SUPPLIED TO THE ENGINEER BY THE DEVELOPER OR HIS ENGINEER. THE TOWN ENGINEERING MANAGER SHALL REVIEW THE INFORMATION AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE (800.230.1188) AND ANY OTHER INVOLVED AGENCIES TO OBTAIN THE LOCATION OF ALL UTILITIES.

8. EXISTING AREAS SHALL BE (RE)VEGETATED WITH TOWN APPROVED DESERT PLANTS OR DROUGHT RESISTANT PLANS. DISTURBED VEGETATION SHALL BE RELOCATED IF DISTURBED BY CONSTRUCTION.
9. SWALES SHALL BE LINED WITH OF MINIMUM DRAINAGE ROCK SIZE AND THE DEPTH SHALL MATCH THE APPROVED SWALE DETAIL.
10. CONTRACTOR/BUILDER SHALL NOTIFY THE ENGINEER OF ANY VARIANCES BETWEEN THESE PLANS NOTIFY THE ENGINEER OF ANY VARIANCES BETWEEN THESE PLANS AND/OR ON-SITE CONDITIONS.
11. ALL DRAINAGE SWALES SHALL BE FREE OF TRASH, DEBRIS, UNDESIRABLE MATERIAL, SILT, VEGETATION, AND DEBRIS. MAINTENANCE SHALL BE BY THE HOMEOWNERS ASSOCIATION.
12. DROPS IN GRADE OF 3" OR MORE IN OR ADJACENT TO TRAILS, SIDEWALKS, ETC. SHALL BE PROTECTED BY SAFETY RAIL THAT IS GRISH COMPLIANT.
13. CONTRACTOR SHALL VERIFY PROPERTY LINE LOCATIONS PRIOR TO PROCEEDING WITH WORK.
14. FINISHED GRADE SHALL SLOPE AWAY FROM RESIDENCE AT A 1% FOR A MINIMUM DISTANCE OF 5' TO AN APPROVED WATER DISPOSAL AREA.
15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT MAG SPECIFICATIONS AND/OR TOWN OF QUEEN CREEK STANDARD DETAILS.
16. CONTRACTORS SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO STARTING CONSTRUCTION.
17. CONTRACTOR SHALL UNCOVER ALL UTILITIES BEING TIED INTO TO VERIFY THEIR LOCATION PRIOR TO STARTING NEW LINES.
18. CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS OF THE APPROVED PROJECT SOL. INVESTIGATION REPORT.

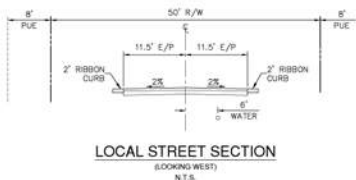
1. ALL IMPROVEMENTS SHALL CONFORM TO THE LATEST MAG STANDARDS AND SPECIFICATIONS OR THE LATEST STANDARDS AND SPECIFICATION ADOPED BY THE TOWN.
2. THE TOWN PUBLIC WORKS DIRECTOR SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY CONSTRUCTION ON THE PROJECT SITE.
3. ALL IMPROVEMENTS SHALL BE CONSTRUCTED WITH THE INSPECTION AND APPROVAL OF THE TOWN PUBLIC WORKS DIRECTOR AND WILL BE REQUIRED A TOWN CONSTRUCTION PERMIT. CONSTRUCTION WILL NOT BEGIN UNTIL A PERMIT HAS BEEN ISSUED. IF THE WORK IS DETERMINED, IT SHALL NOT RESUME UNTIL AFTER NOTIFYING THE TOWN PUBLIC WORKS DIRECTOR.
4. UTILITIES MUST BE INSTALLED EITHER IN DEDICATED PUBLIC RIGHT-OF-WAYS OR IN PUBLIC UTILITY EASEMENTS DEDICATED BY THE LAND OWNER FOR SUCH USAGE AND MAINTENANCE. THE DEVELOPER/OWNER IS RESPONSIBLE FOR THE COORDINATION OF THE RELOCATION OF UTILITIES ON SITE.
5. ALL UNDERGROUND UTILITY INSTALLATION IN STREETS OR PUBLIC ACCESSWAYS SHALL BE CONSTRUCTED PRIOR TO SURFACING SUCH STREET OR PUBLIC ACCESS WAY.
6. THE DEVELOPER SHALL PROVIDE FOR AN ARIZONA REGISTERED ENGINEER TO BE PRESENT ON SITE FOR CONSTRUCTION INSPECTION. THE ENGINEER SHALL REVIEW AND SIGN SPECIFICATIONS FOR EACH ELEMENT OF CONSTRUCTION AND NO LESS THAN ONE DAY WHEN CONSTRUCTION IS IN PROGRESS.
7. THE TOWN PUBLIC WORKS DIRECTOR SHALL BE NOTIFIED UPON COMPLETION OF ALL UNDERGROUND UTILITIES WITHIN THE STREET RIGHT-OF-WAYS AND PRIOR TO ANY STREET PREPARATION WORK. INTERIM AS-BUILT PLANS OF THE UTILITIES AND ALL PASSED TEST RESULTS WILL BE SUBMITTED FOR REVIEW AND APPROVAL. OF THE SUFFICIENT INFORMATION WILL BE PROVIDED TO THE TOWN PUBLIC WORKS DIRECTOR.

9. THE DEVELOPER'S ENGINEER SHALL REQUEST THE TOWN PUBLIC WORKS DIRECTOR PERFORM VISUAL INSPECTIONS OF THE CONSTRUCTION OF THE PROJECT AT THE FOLLOWING FREQUENCIES: (a) DURING THE DEVELOPMENT, THE TOWN PUBLIC WORKS DIRECTOR SHALL PERFORM PERIODIC INSPECTIONS OF THE CONSTRUCTION OF THE PROJECT AT THE FOLLOWING FREQUENCIES: (b) THE TOWN PUBLIC WORKS DIRECTOR SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT, BUT THE TOWN HAS ACCEPTED ANY OF THE IMPROVEMENTS FOR MAINTENANCE.
10. THE DEVELOPER'S ENGINEER SHALL SUBMIT WEEKLY PROGRESS REPORTS TO THE TOWN PUBLIC WORKS DIRECTOR THROUGHOUT THE CONSTRUCTION. THE WEEKLY PROGRESS REPORTS SHALL BE SUBMITTED TO THE TOWN PUBLIC WORKS DIRECTOR AT THE END OF EACH WEEK.
11. CONSTRUCTION MATERIALS TESTING SHALL BE PERFORMED AT THE DIRECTION OF THE TOWN PUBLIC WORKS DIRECTOR OR HIS REPRESENTATIVE AND AT THE EXPENSE OF THE APPLICANT/DEVELOPER.
12. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING INDIVIDUAL UTILITY COMPANIES FOR UTILITY LOCATION, OR FOR CALLING BLUE STATE TO COORDINATE UTILITY LOCATION, AT LEAST 48 HOURS PRIOR TO EXCAVATION OF ALL UNDERGROUND UTILITIES.
13. THE ENGINEER CERTIFIES THAT HE HAS CONTACTED ALL APPLICABLE UTILITY COMPANIES AND HAS OBTAINED ALL NECESSARY INFORMATION FOR THE PROPOSED CONSTRUCTION OF THE PROJECT. THE ENGINEER HAS PLOTTED CORRELATING THE EXISTING AND PROPOSED UTILITY RIGHT-OF-WAY.

A. PRIOR TO CONSTRUCTION OF ANY STRUCTURE THAT ENCOMPASSES WITHIN A RECLAMATION PIPELINE OR CANAL ROW, AN ADVANCE WARNING OF AT LEAST 48 HOURS MUST BE GIVEN TO BOTH OGD AND GCE FOR ALL CONSTRUCTION WITHIN THE USER/OD RIGHT-OF-WAY. PLEASE CONTACT THE FOLLOWING:
BURR HATCH, OGD DISTRICT MANAGER (802) 987-3002
MAKKE HOUGH, GCE PROJECT MANAGER (802) 921-6080

B. PRIOR TO CONSTRUCTION OF ANY STRUCTURE THAT ENCOMPASSES WITHIN A RECLAMATION PIPELINE OR CANAL ROW, OTHER THAN AN OVERHEAD CROSSING, A "POTHOLE EXCAVATION" MUST BE CONDUCTED TO DETERMINE THE LOCATION OF ANY EXISTING OGD FACILITIES AND THE APPURTENANT FEATURES THAT MAY BE AFFECTED. THE RESULTANT ELEVATION INFORMATION SHOULD BE DELINEATED ON THE PROFILE VIEW AND LABELED AS:
POTHOLE DEVIATION XXX
PORECE VARIATION XXX

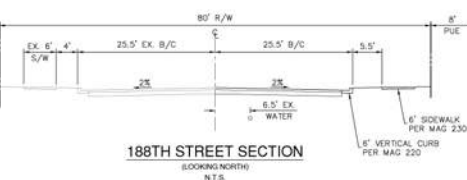
- g. CONSTRUCTION ACTIVITIES WILL BE MONITORED BY GCE ON BEHALF OF OGD DURING CONSTRUCTION. THE CONTRACTOR IS REQUIRED TO NOTIFY GCE AT LEAST 48 HOURS PRIOR TO HOLE LOCATING OF THE EXISTING OGD IRRIGATION PIPE, THE START OF EXCAVATION ACROSS USBROQ RIGHT-OF-WAY AND CONNECTIONS BETWEEN OGD AND THE NEWLY CONSTRUCTED FACILITIES.
- h. THE CONTRACTOR SHALL PROTECT ALL OGD STRUCTURES, FACILITIES AND RESOURCES FROM DAMAGE DURING CONSTRUCTION ACTIVITIES OCCURRING NEAR OR WITHIN THE USBROQ RIGHT-OF-WAY.



ALL WORK SHALL CONFORM TO THE REVISED EDITION OF THE UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) AS AUTHORIZED AND MODIFIED BY THE MOST CURRENT MCDOT SUPPLEMENT TO THE MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND NON-CONFLICTING LOCAL SPECIAL PROVISIONS. ALL WORK MUST ALSO CONFORM TO THE REQUIREMENTS OF MARICOPA COUNTY RESOLUTION FOR PERMITS TO WORK IN DEDICATED RIGHT-OF-WAY AND RESOLUTION 2001-02 MARICOPA COUNTY RESOLUTION FOR STREET IMPROVEMENTS, INSTALLATION OF UTILITIES AND TRAFFIC CONTROL. ANY EXCEPTIONS MUST RECEIVE EXPLICIT APPROVAL FROM MCDOT AND SHALL BE IDENTIFIED ON THE PLANS AS HAVING EXEMPTED FROM MCDOT REVIEW. ANY VIOLATION OF THIS REQUIREMENT SHALL BE MITIGATED IN A MANNER APPROVED BY MCDOT AT NO COST TO THE COUNTY.

- [illegible]

13. PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK, BASE COURSE AND WEARING SURF, THE CONTRACTOR SHALL SUBMIT TO THE COUNTY ENGINEER FOR REVIEW AND DESIGN CONSULTATIONS TO CMOIST FOR REVIEW AND APPROVAL. IF SUBGRADE STABILIZATION IS REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF STABILIZATION EQUIPMENT AND MATERIALS AND THE CONSTRUCTION OF THE STABILIZATION STRUCTURE.
13. ASPHALT MIX DESIGN SHALL BE SUBMITTED TO CMOIST AT A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION OF THE PAVEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TUNDRILLOS SHALL HAVE THE SAME ASPHALT AND BASE REQUIREMENTS AS THE ASPHALT AND BASE REQUIREMENTS FOR THE PAVEMENT.
14. ALL COMPLETION AND BACKFILL WITHIN COUNTY RIGHT OF WAY SHALL CONFORM TO THE CMOIST SUPPLEMENT TO M&M SPECIFICATION SECTION 061. BACKFILL UNDER AND ABOVE CURB SHALL BE COMPACTED TO 95% OF THE STANDARD SPECIFICATION. ROADWAYS SHALL CONSIDER THE CMOIST ONE HAZARD (1.0) OR THE CMOIST SLASH UNPAVED ROADWAY AREA. ABOUT THE TRAVELLED WAY PLUS FIVE FEET BEYOND THE UNPAVED ROADWAY AREA.
15. ALL STRUCTURES SUCH AS MANHOLES, VALVE BOXES AND MONITORING WELLS SHALL BE CONSTRUCTED TO THE CMOIST SPECIFICATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING OUTSIDE THE TRAVELLED WAY AND WITHIN THE TRAVELLED WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE STRUCTURES.
16. PAVEMENT WEEDING AND PAVEMENT REPAIRS SHALL CONFORM TO THE REQUIREMENTS OF SPECIFICATION SECTION 336. PAVEMENT CUTS SHALL NOT BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PAVEMENT WITHIN THE AREA WITHIN ONE FOOT OF THE LINE BUREAU AND EXCEPT THE CENTER TWO FEET OF THE TRAVEL LANE.
17. ALL EXISTING PAVEMENT MARKINGS, TRAFFIC SIGNS AND SIGNAL EQUIPMENT THAT NEED TO BE REMOVED OR REPAIRED DURING THE CONSTRUCTION OF THE PAVEMENT SHALL BE DONE BY THE CONTRACTOR AT HIS EXPENSE. ALL SAVED SIGNS AND EQUIPMENT SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR. ALL NEW ARRANGEMENTS CAN BE MADE FOR DELIVERY BY CALLING 800-265-8692. ALL NEW SIGNS AND EQUIPMENT SHALL BE DELIVERED AND INSTALLED BY 11:00PM AT NO EXPENSE TO MANICHOVA COUNTY.
18. PAVEMENT MARKING, SIGNING AND SIGNAL WORK WILL BE INSPECTED AND SHALL MEET COUNTY STANDARDS BEFORE RELEASE OF WORK.
19. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS WITHIN THE RIGHT OF WAY TO EQUIVALENT OR BETTER THAN PRIOR EXISTING CONDITIONS PER M&M 107.9. DISPOSAL OF ALL WASTE MATERIAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.



NOTE:
ESTIMATED QUANTITIES ARE NOT FOR BIDDING
PURPOSES. CONTRACTORS SHALL BASE THEIR
BID ON THEIR OWN QUANTITY TAKEOFFS

448-49

RETENTION REQUIREMENTS		
LOT NO.	VOLUME REQUIRED	VOLUME PROVIDED
1	7,520	7,520
2	5,315	5,369
3	5,505	5,724
4	4,952	5,329
5	4,995	5,374
6	5,468	5,601
7	5,319	5,374
8	7,482	7,806
9	7,516	7,625
10	5,315	5,477
11	5,315	5,477
12	5,352	5,519
13	5,527	6,054
14	5,328	5,944
15	5,428	5,944
16	7,615	7,953

Bowman Consulting Group, Ltd.
1295 West Washington Ste 100
Tempe, Arizona 85281
Phone: (480) 629-8800
www.bowmanconsulting.com
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QUEEN CREEK, ARIZONA



PLAN STATUS

DATE	DESCRIPTION	
SKF DESIGN	CRS DRAWN	C
SCALE	H: NONE V: NONE	
JOB No. 9632-02-002		
DATE : DEC-2018		
GD02		
SHEET 02 OF 1		

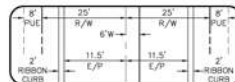
CENTERLINE DATA

LINE #	BEARING	DISTANCE
L1	N01°31'1"W	1344.13'
L2	S89°29'37"E	659.40'

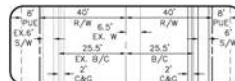
ON-LOT RETENTION NOTE

THE CONFIGURATION OF THE ON-LOT RETENTION BASINS FOR EACH LOT MAY BE MODIFIED, BUT MUST ALWAYS ACCOMMODATE THE VOLUME REQUIRED (AS SHOWN ON SHEET GD03)

ALL ON-LOT RETENTION BASIN BOTTOMS SHALL NOT BE COMPACTED GREATER THAN 85%



LOCAL STREET SECTION



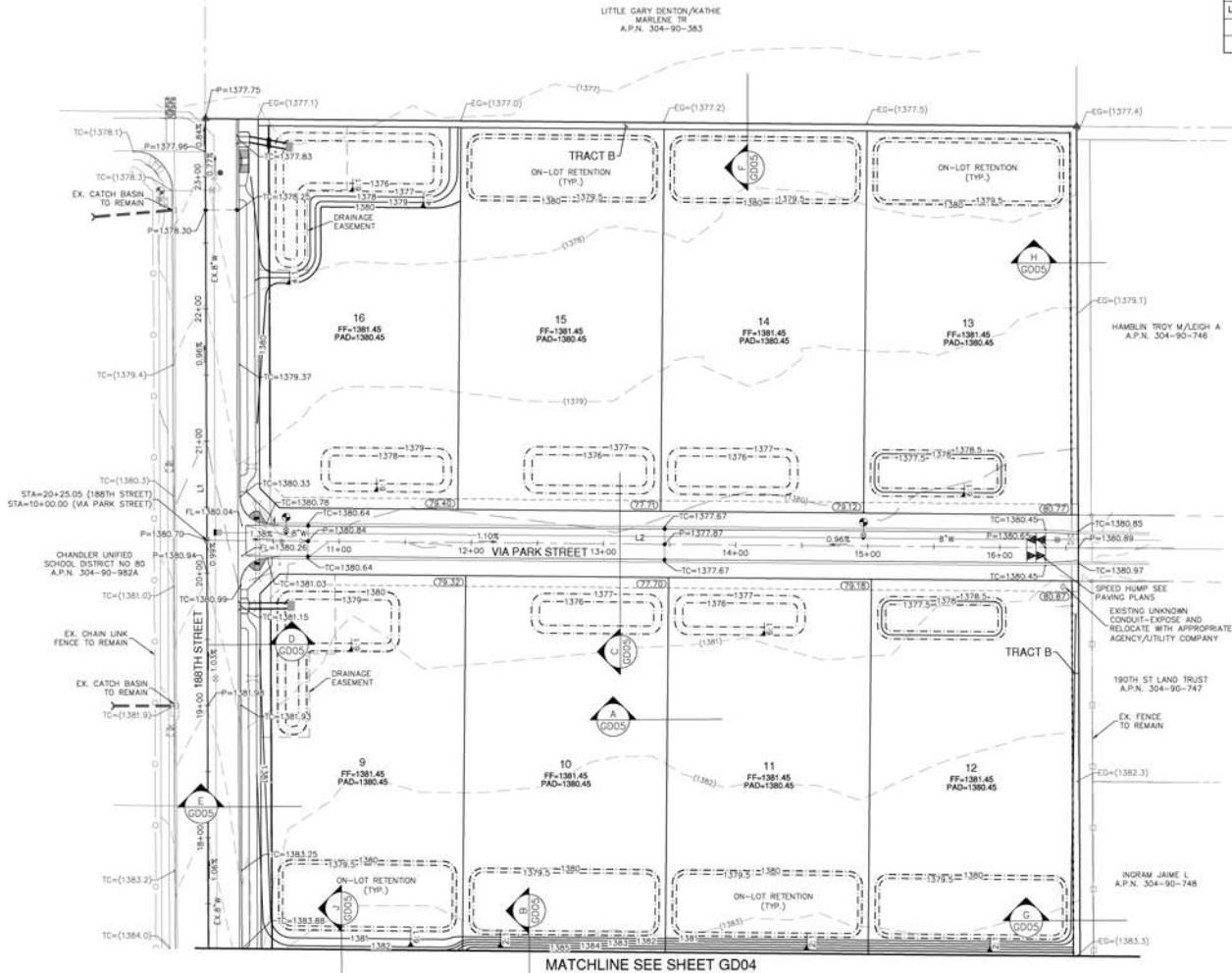
188TH STREET SECTION

GD03

GD04

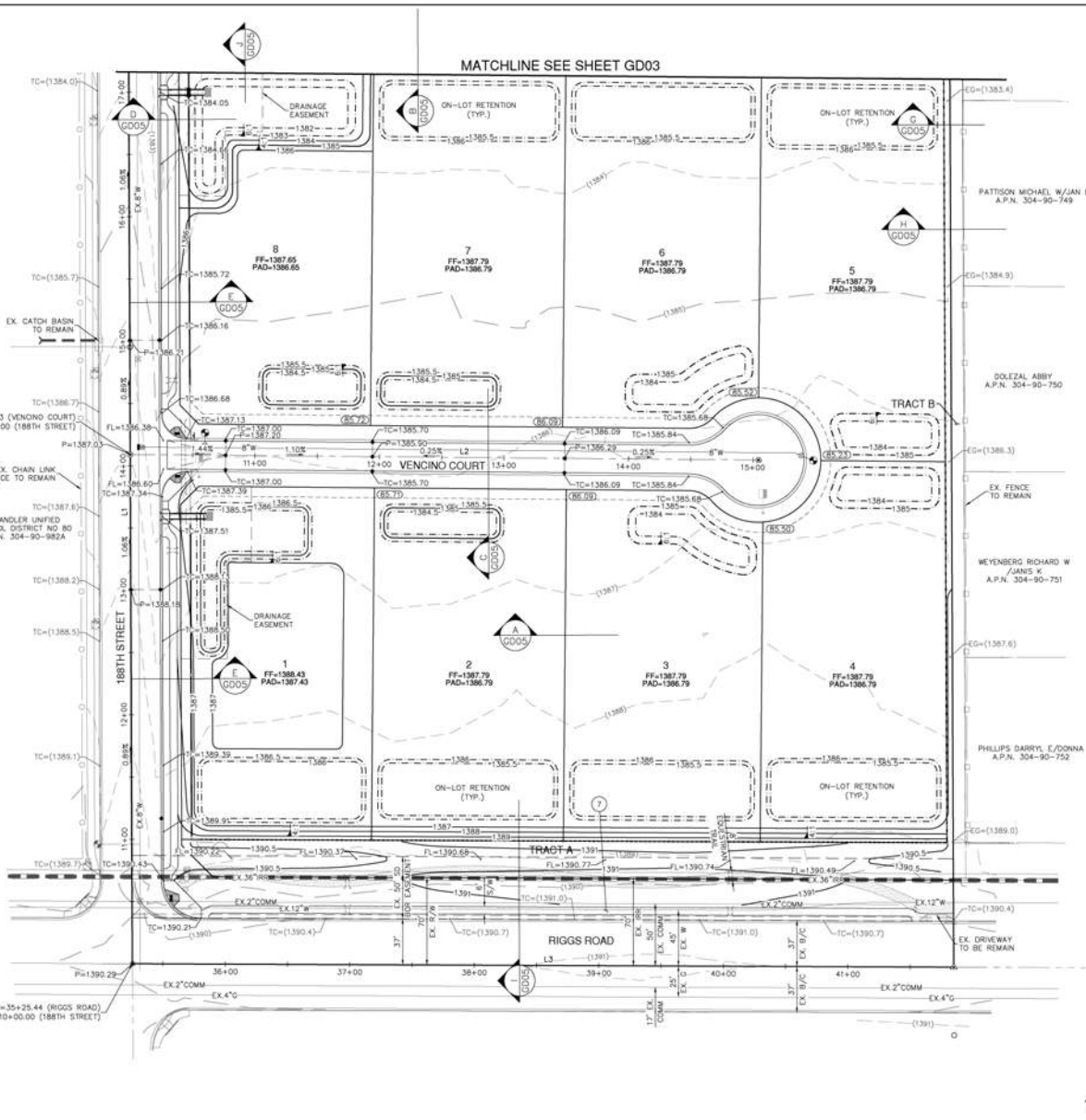


NO.	REVISION	DATE
7	22/01/2018	JOHN J. GRAY
ESTATES AT PICKET POST GRADING PLAN		
PROJECT NO. 9632-02-002	SCALE: 1" = 40'	SHEET NO. 05
DESIGN: JEFFREY L. GRAY	CHECK: JEFFREY L. GRAY	DATE: 03/05/2018
<p>03 OF 05 GD03</p>		



MATCHLINE SEE SHEET GD04



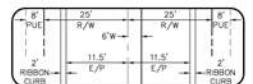


CENTERLINE DATA		
LINE #	BEARING	DISTANCE
L1	N0°13'51"W	1344.15'
L2	S89°29'37"E	504.50'
L3	S89°45'32"E	659.58'

PAVING CONSTRUCTION NOTES
 7. INSTALL 6" DETACHED SIDEWALK PER MAC STD DTL 230, CLASS 'B' CONCRETE

ON-LOT RETENTION NOTE
 THE CONFIGURATION OF THE ON-LOT RETENTION BASINS FOR EACH LOT MAY BE MODIFIED, BUT MUST ALWAYS ACCOMMODATE THE VOLUME REQUIRED (AS SHOWN ON SHEET GD03)

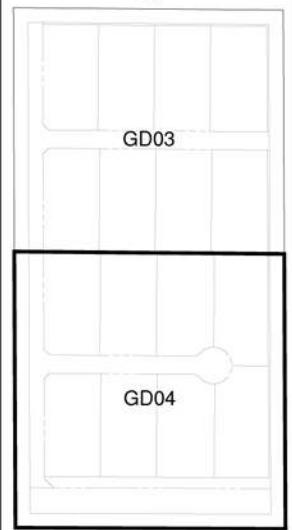
ALL ON-LOT RETENTION BASIN BOTTOMS SHALL NOT BE COMPACTED GREATER THAN 80%



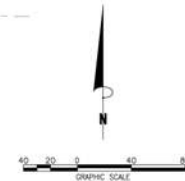
LOCAL STREET SECTION
N.T.S.

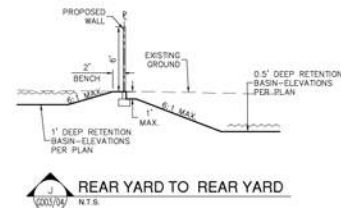
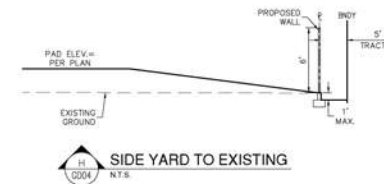
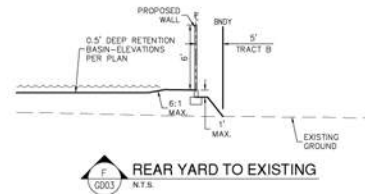
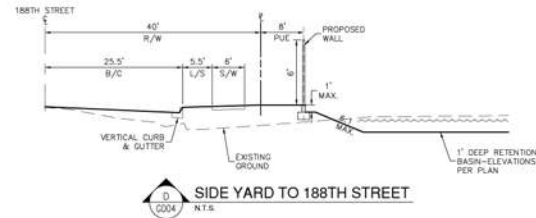
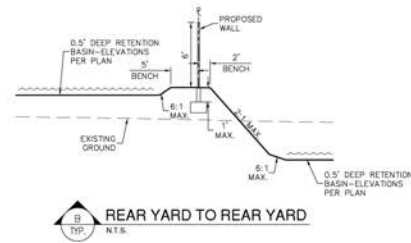
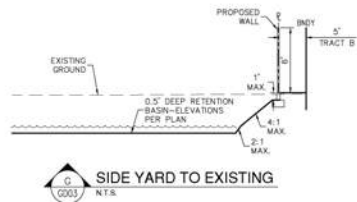
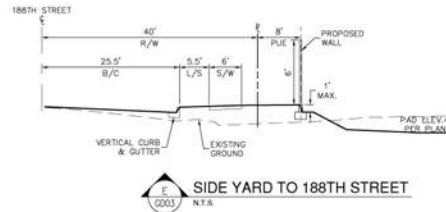
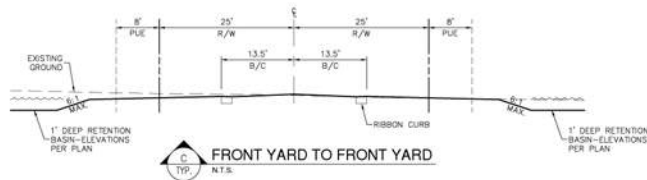
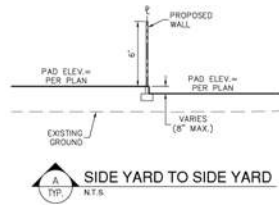



188TH STREET SECTION
N.T.S.



NO.		REVISION		DATE	
ESTATES AT PICKET POST GRADING PLAN					
PROJECT NO. 9632-02-002	SCALE: 1" = 40'	SHEET NO. 04	OF 05	FILE NO. GD04	
DESIGN: JEFFREY L. BOWMAN	CHECK: JEFFREY L. BOWMAN	DATE: 12/14/2018			



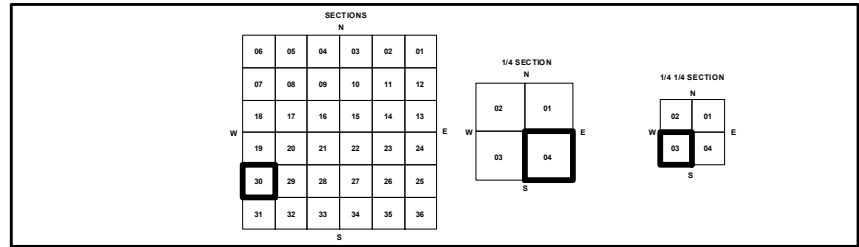
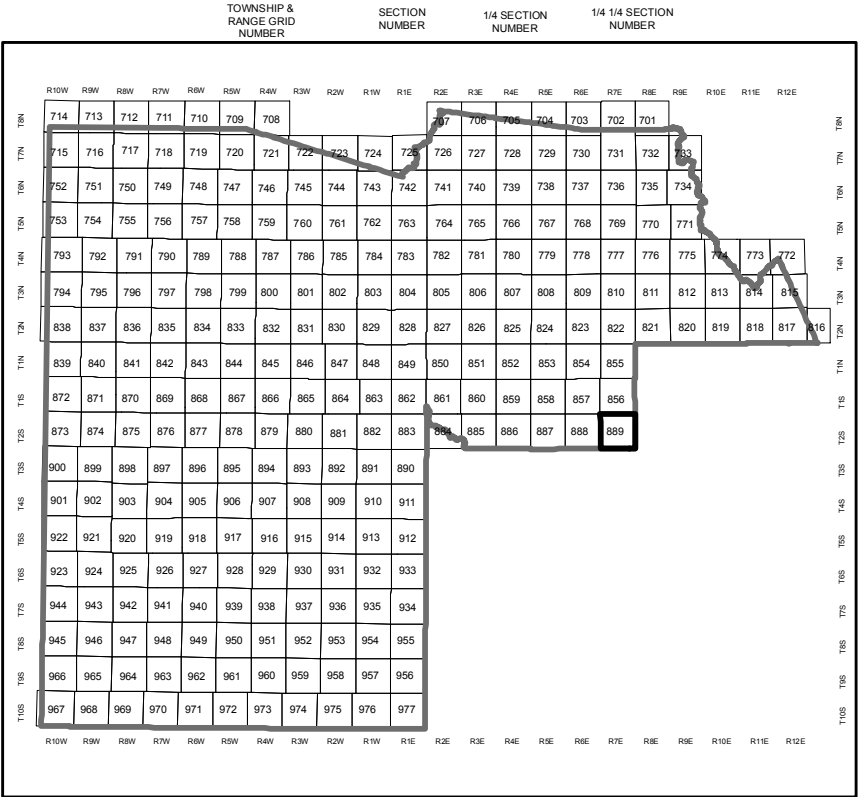


NO.		REVISION		DATE	
					
ESTATES AT PICKET POST GRADING SECTIONS					
PROJECT NO. 9632-02-02	SCALE: 1" = 4'	SHEET NO. 05	FILE NO. GD05		
DESIGN: J. J. GRAY	CHECK: J. J. GRAY	DATE: 12/14/2018			

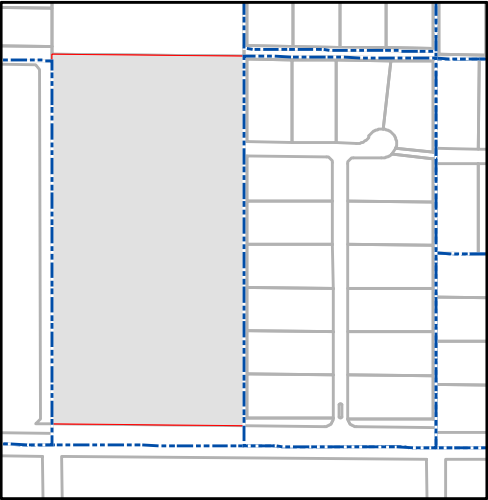
MARICOPA COUNTY
STATE OF ARIZONA

PT. SECTION 30 T02S R07E

889 - 30 - 04 - 03



Parcels updated within this map



MARICOPA COUNTY
ASSESSOR'S OFFICE
301 W. Jefferson Street
Phoenix, AZ 85003
Date: 10/6/2016



<http://mcassessor.maricopa.gov/assessor/>



LEGEND: Parcels Sections Centerlines
 Subdivisions Section Corners

Disclaimer - Indemnification

CAUTION! USERS SHOULD INDEPENDENTLY RESEARCH AND VERIFY INFORMATION WITHIN THIS DATASET OR MAP BEFORE RELYING ON IT.

The Assessor's Office has compiled information within this dataset or map that it uses to identify, classify, and value real and personal property. Please contact the Assessor's Office at 602 506-3406 if you believe any information is incomplete, out-of date, or incorrect so that appropriate corrections can be addressed. Please note that a statutory process is also available to correct errors pursuant to Arizona Revised Statutes 42-16254.

The Assessor does not guarantee that any information contained within this dataset or map is accurate, complete or current. In many instances, the Assessor has gathered information from independent sources and made it available within this dataset or map, and the original information may have contained errors and omissions. Errors and omissions may have occurred in the process of gathering, interpreting, and reporting the information. Information within this dataset or map is not updated "real time." In addition, Users are cautioned that the process used within this dataset or map to illustrate the boundaries of adjacent parcels is not always consistent with the recorded documents for such parcels. The parcel boundaries depicted within this dataset or maps are for illustrative purposes only, and the exact relationship of adjacent parcels should be independently researched and verified. The information provided within this dataset or map is not the equivalent of a title report or a real estate survey. Users should independently research, investigate, and verify all information before relying on it or using it in the preparation of legal documents.

304-90-381B

304-90-381A

304-90-012G

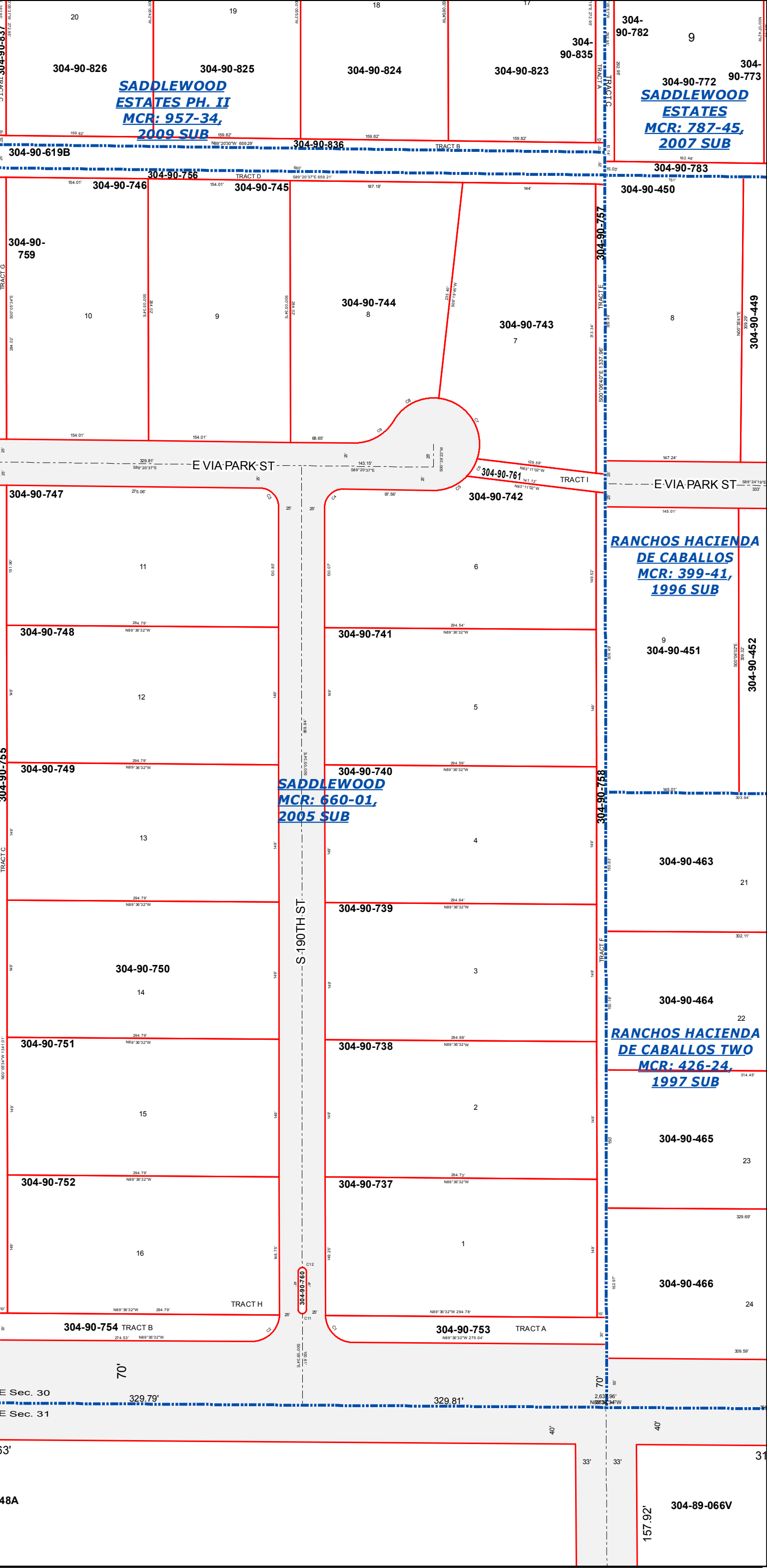
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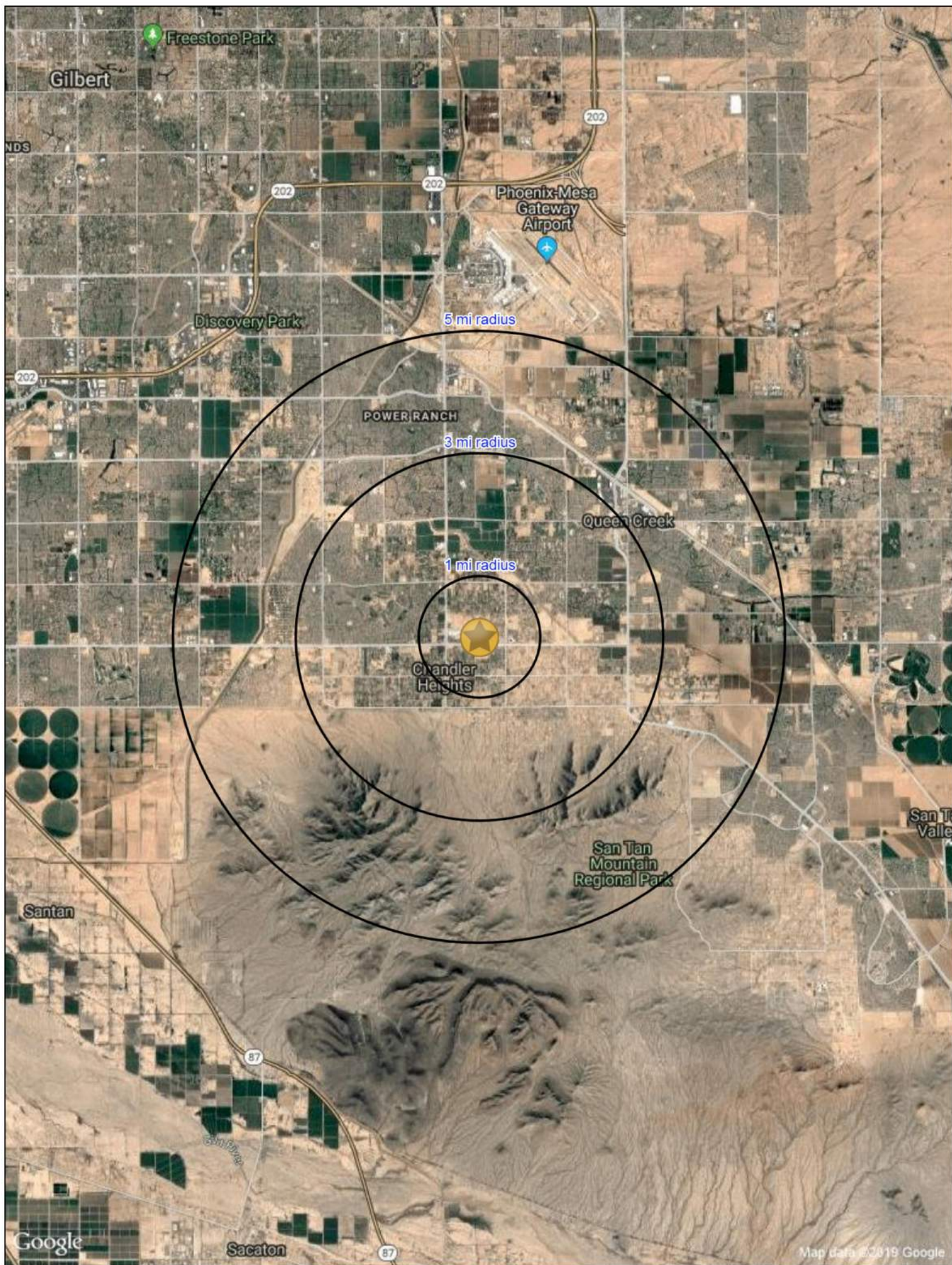
304-90-982A

**TOWN OF QUEEN
CREEK LOT TIE MAP
NO E14R-0047
MCR: 1218-28, 2016 SUB**

304-90-383

304-90-430A





COMPLETE PROFILE

2000-2010 Census, 2019 Estimates with 2024 Projections

Calculated using Weighted Block Centroid from Block Groups



Lat/Lon: 33.2213/-111.6765

RFULL9

25062 S 190th St	1 mi radius		3 mi radius		5 mi radius	
Queen Creek, AZ 85142						
Population						
Estimated Population (2019)	3,018		38,754		113,257	
Projected Population (2024)	3,240		41,684		122,352	
Census Population (2010)	2,847		28,838		76,979	
Census Population (2000)	1,594		7,608		10,439	
Projected Annual Growth (2019-2024)	222	1.5%	2,930	1.5%	9,095	1.6%
Historical Annual Growth (2010-2019)	171	0.6%	9,916	2.8%	36,278	3.6%
Historical Annual Growth (2000-2010)	1,253	7.9%	21,230	27.9%	66,540	63.7%
Estimated Population Density (2019)	961	psm	1,371	psm	1,443	psm
Trade Area Size	3.1	sq mi	28.3	sq mi	78.5	sq mi
Households						
Estimated Households (2019)	946		12,525		35,805	
Projected Households (2024)	987		13,075		37,458	
Census Households (2010)	858		9,226		23,679	
Census Households (2000)	454		2,204		3,024	
Projected Annual Growth (2019-2024)	41	0.9%	550	0.9%	1,653	0.9%
Historical Annual Change (2000-2019)	493	5.7%	10,321	24.6%	32,781	57.1%
Average Household Income						
Estimated Average Household Income (2019)	\$120,324		\$127,933		\$119,513	
Projected Average Household Income (2024)	\$137,967		\$148,306		\$137,570	
Census Average Household Income (2010)	\$87,965		\$92,148		\$86,026	
Census Average Household Income (2000)	\$66,658		\$66,833		\$67,850	
Projected Annual Change (2019-2024)	\$17,642	2.9%	\$20,373	3.2%	\$18,057	3.0%
Historical Annual Change (2000-2019)	\$53,667	4.2%	\$61,100	4.8%	\$51,663	4.0%
Median Household Income						
Estimated Median Household Income (2019)	\$98,891		\$102,531		\$101,466	
Projected Median Household Income (2024)	\$112,378		\$116,880		\$115,492	
Census Median Household Income (2010)	\$73,803		\$75,953		\$74,412	
Census Median Household Income (2000)	\$58,844		\$60,240		\$61,642	
Projected Annual Change (2019-2024)	\$13,488	2.7%	\$14,349	2.8%	\$14,025	2.8%
Historical Annual Change (2000-2019)	\$40,046	3.6%	\$42,291	3.7%	\$39,825	3.4%
Per Capita Income						
Estimated Per Capita Income (2019)	\$37,735		\$41,353		\$37,788	
Projected Per Capita Income (2024)	\$42,051		\$46,523		\$42,122	
Census Per Capita Income (2010)	\$26,513		\$29,480		\$26,462	
Census Per Capita Income (2000)	\$19,243		\$19,684		\$19,985	
Projected Annual Change (2019-2024)	\$4,316	2.3%	\$5,170	2.5%	\$4,333	2.3%
Historical Annual Change (2000-2019)	\$18,491	5.1%	\$21,670	5.8%	\$17,803	4.7%
Estimated Average Household Net Worth (2019)	\$1.15 M		\$1.34 M		\$1.27 M	

This report was produced using data from private and government sources deemed to be reliable. The information herein is provided without representation or warranty.

COMPLETE PROFILE

2000-2010 Census, 2019 Estimates with 2024 Projections

Calculated using Weighted Block Centroid from Block Groups



Lat/Lon: 33.2213/-111.6765

RFULL9

25062 S 190th St

Queen Creek, AZ 85142

1 mi radius

3 mi radius

5 mi radius

Race and Ethnicity

Total Population (2019)	3,018		38,754		113,257	
White (2019)	2,403	79.6%	31,162	80.4%	89,497	79.0%
Black or African American (2019)	101	3.3%	1,553	4.0%	5,125	4.5%
American Indian or Alaska Native (2019)	27	0.9%	293	0.8%	922	0.8%
Asian (2019)	86	2.8%	1,821	4.7%	5,700	5.0%
Hawaiian or Pacific Islander (2019)	4	0.1%	51	0.1%	204	0.2%
Other Race (2019)	313	10.4%	2,606	6.7%	7,216	6.4%
Two or More Races (2019)	84	2.8%	1,268	3.3%	4,592	4.1%
Population < 18 (2019)	829	27.5%	10,768	27.8%	32,980	29.1%
White Not Hispanic	490	59.1%	6,737	62.6%	20,249	61.4%
Black or African American	30	3.7%	513	4.8%	1,622	4.9%
Asian	20	2.4%	455	4.2%	1,445	4.4%
Other Race Not Hispanic	35	4.2%	587	5.5%	1,865	5.7%
Hispanic	254	30.7%	2,474	23.0%	7,798	23.6%
Not Hispanic or Latino Population (2019)	2,252	74.6%	31,335	80.9%	90,967	80.3%
Not Hispanic White	1,998	88.7%	27,059	86.4%	77,178	84.8%
Not Hispanic Black or African American	93	4.1%	1,410	4.5%	4,667	5.1%
Not Hispanic American Indian or Alaska Native	20	0.9%	233	0.7%	672	0.7%
Not Hispanic Asian	79	3.5%	1,706	5.4%	5,342	5.9%
Not Hispanic Hawaiian or Pacific Islander	4	0.2%	43	0.1%	171	0.2%
Not Hispanic Other Race	14	0.6%	104	0.3%	210	0.2%
Not Hispanic Two or More Races	43	1.9%	780	2.5%	2,726	3.0%
Hispanic or Latino Population (2019)	766	25.4%	7,419	19.1%	22,291	19.7%
Hispanic White	405	52.8%	4,103	55.3%	12,319	55.3%
Hispanic Black or African American	8	1.0%	144	1.9%	458	2.1%
Hispanic American Indian or Alaska Native	7	0.9%	60	0.8%	250	1.1%
Hispanic Asian	7	0.9%	115	1.5%	358	1.6%
Hispanic Hawaiian or Pacific Islander	-	-	8	0.1%	33	0.2%
Hispanic Other Race	299	39.0%	2,502	33.7%	7,006	31.4%
Hispanic Two or More Races	41	5.3%	488	6.6%	1,866	8.4%
Not Hispanic or Latino Population (2010)	2,211	77.7%	24,329	84.4%	64,300	83.5%
Hispanic or Latino Population (2010)	636	22.3%	4,509	15.6%	12,678	16.5%
Not Hispanic or Latino Population (2000)	1,083	68.0%	5,585	73.4%	7,800	74.7%
Hispanic or Latino Population (2000)	510	32.0%	2,023	26.6%	2,639	25.3%
Not Hispanic or Latino Population (2024)	2,387	73.7%	33,250	79.8%	96,982	79.3%
Hispanic or Latino Population (2024)	853	26.3%	8,434	20.2%	25,370	20.7%
Projected Annual Growth (2019-2024)	87	-	1,015	-	3,080	-
Historical Annual Growth (2000-2010)	125	2.5%	2,486	12.3%	10,039	38.0%

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COMPLETE PROFILE

2000-2010 Census, 2019 Estimates with 2024 Projections

Calculated using Weighted Block Centroid from Block Groups



Lat/Lon: 33.2213/-111.6765

RFULL9

25062 S 190th St

Queen Creek, AZ 85142

1 mi radius

3 mi radius

5 mi radius

Total Age Distribution (2019)

Total Population	3,018		38,754		113,257	
Age Under 5 Years	183	6.1%	2,667	6.9%	8,604	7.6%
Age 5 to 9 Years	225	7.4%	3,149	8.1%	9,686	8.6%
Age 10 to 14 Years	264	8.8%	3,218	8.3%	9,694	8.6%
Age 15 to 19 Years	245	8.1%	2,689	6.9%	7,727	6.8%
Age 20 to 24 Years	159	5.3%	1,654	4.3%	5,206	4.6%
Age 25 to 29 Years	142	4.7%	1,943	5.0%	6,809	6.0%
Age 30 to 34 Years	164	5.4%	2,545	6.6%	8,613	7.6%
Age 35 to 39 Years	201	6.7%	3,124	8.1%	9,650	8.5%
Age 40 to 44 Years	226	7.5%	2,809	7.2%	8,207	7.2%
Age 45 to 49 Years	251	8.3%	2,712	7.0%	7,304	6.4%
Age 50 to 54 Years	217	7.2%	2,335	6.0%	6,230	5.5%
Age 55 to 59 Years	213	7.1%	2,319	6.0%	6,086	5.4%
Age 60 to 64 Years	182	6.0%	2,322	6.0%	5,869	5.2%
Age 65 to 69 Years	129	4.3%	2,017	5.2%	5,004	4.4%
Age 70 to 74 Years	86	2.9%	1,509	3.9%	3,904	3.4%
Age 75 to 79 Years	67	2.2%	871	2.2%	2,298	2.0%
Age 80 to 84 Years	36	1.2%	477	1.2%	1,292	1.1%
Age 85 Years or Over	27	0.9%	394	1.0%	1,075	0.9%
Median Age	37.4		36.9		34.7	
Age 19 Years or Less	918	30.4%	11,722	30.2%	35,711	31.5%
Age 20 to 64 Years	1,755	58.2%	21,762	56.2%	63,974	56.5%
Age 65 Years or Over	345	11.4%	5,269	13.6%	13,572	12.0%

Female Age Distribution (2019)

Female Population	1,483	49.2%	19,294	49.8%	56,882	50.2%
Age Under 5 Years	82	5.6%	1,250	6.5%	4,196	7.4%
Age 5 to 9 Years	104	7.0%	1,494	7.7%	4,612	8.1%
Age 10 to 14 Years	129	8.7%	1,550	8.0%	4,763	8.4%
Age 15 to 19 Years	115	7.7%	1,265	6.6%	3,695	6.5%
Age 20 to 24 Years	74	5.0%	771	4.0%	2,507	4.4%
Age 25 to 29 Years	67	4.5%	1,032	5.3%	3,642	6.4%
Age 30 to 34 Years	93	6.3%	1,381	7.2%	4,579	8.1%
Age 35 to 39 Years	107	7.2%	1,580	8.2%	4,880	8.6%
Age 40 to 44 Years	119	8.0%	1,405	7.3%	4,047	7.1%
Age 45 to 49 Years	128	8.6%	1,334	6.9%	3,574	6.3%
Age 50 to 54 Years	100	6.7%	1,157	6.0%	3,111	5.5%
Age 55 to 59 Years	106	7.2%	1,218	6.3%	3,200	5.6%
Age 60 to 64 Years	90	6.1%	1,174	6.1%	3,021	5.3%
Age 65 to 69 Years	51	3.5%	1,041	5.4%	2,590	4.6%
Age 70 to 74 Years	41	2.8%	728	3.8%	1,953	3.4%
Age 75 to 79 Years	41	2.8%	424	2.2%	1,128	2.0%
Age 80 to 84 Years	20	1.4%	256	1.3%	706	1.2%
Age 85 Years or Over	15	1.0%	235	1.2%	678	1.2%
Female Median Age	37.6		37.3		35.0	
Age 19 Years or Less	430	29.0%	5,559	28.8%	17,266	30.4%
Age 20 to 64 Years	885	59.6%	11,051	57.3%	32,562	57.2%
Age 65 Years or Over	168	11.4%	2,684	13.9%	7,055	12.4%

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COMPLETE PROFILE

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RFULL9

25062 S 190th St

1 mi radius

3 mi radius

5 mi radius

Queen Creek, AZ 85142

Male Age Distribution (2019)

Male Population	1,534	50.8%	19,459	50.2%	56,375	49.8%
Age Under 5 Years	101	6.6%	1,417	7.3%	4,408	7.8%
Age 5 to 9 Years	120	7.8%	1,655	8.5%	5,074	9.0%
Age 10 to 14 Years	136	8.8%	1,668	8.6%	4,931	8.7%
Age 15 to 19 Years	130	8.5%	1,424	7.3%	4,033	7.2%
Age 20 to 24 Years	84	5.5%	883	4.5%	2,699	4.8%
Age 25 to 29 Years	75	4.9%	911	4.7%	3,167	5.6%
Age 30 to 34 Years	71	4.6%	1,164	6.0%	4,034	7.2%
Age 35 to 39 Years	94	6.1%	1,544	7.9%	4,770	8.5%
Age 40 to 44 Years	107	7.0%	1,405	7.2%	4,160	7.4%
Age 45 to 49 Years	123	8.0%	1,378	7.1%	3,730	6.6%
Age 50 to 54 Years	117	7.6%	1,178	6.1%	3,119	5.5%
Age 55 to 59 Years	107	7.0%	1,101	5.7%	2,886	5.1%
Age 60 to 64 Years	92	6.0%	1,148	5.9%	2,848	5.1%
Age 65 to 69 Years	77	5.0%	977	5.0%	2,414	4.3%
Age 70 to 74 Years	45	2.9%	782	4.0%	1,950	3.5%
Age 75 to 79 Years	26	1.7%	446	2.3%	1,170	2.1%
Age 80 to 84 Years	16	1.0%	221	1.1%	586	1.0%
Age 85 Years or Over	12	0.8%	159	0.8%	397	0.7%
Male Median Age	37.2		36.5		34.3	
Age 19 Years or Less	487	31.8%	6,163	31.7%	18,445	32.7%
Age 20 to 64 Years	870	56.7%	10,711	55.0%	31,413	55.7%
Age 65 Years or Over	177	11.5%	2,585	13.3%	6,517	11.6%

Males per 100 Females (2019)

Overall Comparison						
Age Under 5 Years	122	55.0%	113	53.1%	105	51.2%
Age 5 to 9 Years	115	53.6%	111	52.6%	110	52.4%
Age 10 to 14 Years	106	51.4%	108	51.8%	104	51.8%
Age 15 to 19 Years	113	53.1%	113	53.0%	109	52.2%
Age 20 to 24 Years	114	53.2%	115	53.4%	108	51.8%
Age 25 to 29 Years	112	52.9%	88	46.9%	87	46.5%
Age 30 to 34 Years	76	43.3%	84	45.7%	88	46.8%
Age 35 to 39 Years	87	46.6%	98	49.4%	98	49.4%
Age 40 to 44 Years	90	47.3%	100	50.0%	103	50.7%
Age 45 to 49 Years	96	49.0%	103	50.8%	104	51.1%
Age 50 to 54 Years	117	54.0%	102	50.5%	100	50.1%
Age 55 to 59 Years	101	50.2%	90	47.5%	90	47.4%
Age 60 to 64 Years	102	50.5%	98	49.4%	94	48.5%
Age 65 to 69 Years	151	60.1%	94	48.4%	93	48.2%
Age 70 to 74 Years	111	52.5%	107	51.8%	100	50.0%
Age 75 to 79 Years	63	38.5%	105	51.3%	104	50.9%
Age 80 to 84 Years	77	43.6%	86	46.3%	83	45.4%
Age 85 Years or Over	86	46.2%	68	40.4%	59	37.0%
Age 19 Years or Less	113	53.1%	111	52.6%	107	51.7%
Age 20 to 39 Years	95	48.7%	94	48.6%	94	48.5%
Age 40 to 64 Years	101	50.1%	99	49.7%	99	49.7%
Age 65 Years or Over	105	51.2%	96	49.1%	92	48.0%

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Queen Creek, AZ 85142

1 mi radius

3 mi radius

5 mi radius

Household Type (2019)

Total Households	946		12,525		35,805	
Households with Children	437	46.2%	5,580	44.5%	16,950	47.3%
Average Household Size	3.2		3.1		3.2	
Household Density per Square Mile	301		443		456	
Population Family	2,824	93.6%	35,872	92.6%	104,598	92.4%
Population Non-Family	193	6.4%	2,864	7.4%	8,613	7.6%
Population Group Quarters	-	-	18	-	47	-
Family Households	804	84.9%	10,345	82.6%	29,363	82.0%
Married Couple Households	685	85.2%	9,047	87.5%	24,797	84.5%
Other Family Households with Children	119	14.8%	1,297	12.5%	4,566	15.5%
Family Households with Children	432	53.7%	5,534	53.5%	16,812	57.3%
Married Couple with Children	349	80.8%	4,645	83.9%	13,519	80.4%
Other Family Households with Children	83	19.2%	889	16.1%	3,293	19.6%
Family Households No Children	372	46.3%	4,811	46.5%	12,550	42.7%
Married Couple No Children	336	90.4%	4,402	91.5%	11,277	89.9%
Other Family Households No Children	36	9.6%	408	8.5%	1,273	10.1%
Non-Family Households	143	15.1%	2,180	17.4%	6,442	18.0%
Non-Family Households with Children	5	3.5%	46	2.1%	138	2.1%
Non-Family Households No Children	138	96.5%	2,135	97.9%	6,304	97.9%
Average Family Household Size	3.5		3.5		3.6	
Average Family Income	\$129,523		\$140,893		\$128,620	
Median Family Income	\$108,397		\$111,556		\$109,137	
Average Non-Family Household Size	1.4		1.3		1.3	

Marital Status (2019)

Population Age 15 Years or Over	2,346		29,720		85,274	
Never Married	666	28.4%	6,710	22.6%	22,189	26.0%
Currently Married	1,426	60.8%	19,225	64.7%	51,505	60.4%
Previously Married	253	10.8%	3,786	12.7%	11,580	13.6%
Separated	47	18.4%	900	23.8%	2,404	20.8%
Widowed	48	19.0%	744	19.7%	2,451	21.2%
Divorced	159	62.6%	2,142	56.6%	6,725	58.1%

Educational Attainment (2019)

Adult Population Age 25 Years or Over	1,942		25,377		72,340	
Elementary (Grade Level 0 to 8)	50	2.6%	349	1.4%	1,159	1.6%
Some High School (Grade Level 9 to 11)	94	4.8%	845	3.3%	1,869	2.6%
High School Graduate	367	18.9%	4,317	17.0%	12,678	17.5%
Some College	606	31.2%	6,924	27.3%	18,861	26.1%
Associate Degree Only	249	12.8%	2,768	10.9%	7,773	10.7%
Bachelor Degree Only	359	18.5%	6,564	25.9%	19,493	26.9%
Graduate Degree	216	11.2%	3,610	14.2%	10,508	14.5%
Any College (Some College or Higher)	1,430	73.7%	19,866	78.3%	56,635	78.3%
College Degree + (Bachelor Degree or Higher)	575	29.6%	10,174	40.1%	30,001	41.5%

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1 mi radius

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5 mi radius

Housing

Total Housing Units (2019)	979		13,160		37,248	
Total Housing Units (2010)	922		9,537		26,225	
Historical Annual Growth (2010-2019)	57	0.7%	3,623	4.2%	11,024	4.7%
Housing Units Occupied (2019)	946	96.7%	12,525	95.2%	35,805	96.1%
Housing Units Owner-Occupied	839	88.6%	11,411	91.1%	30,653	85.6%
Housing Units Renter-Occupied	108	11.4%	1,114	8.9%	5,151	14.4%
Housing Units Vacant (2019)	32	3.4%	635	5.1%	1,444	4.0%

Household Size (2019)

Total Households	946		12,525		35,805	
1 Person Households	99	10.4%	1,684	13.4%	4,821	13.5%
2 Person Households	322	34.0%	4,332	34.6%	11,078	30.9%
3 Person Households	161	17.0%	1,935	15.5%	5,954	16.6%
4 Person Households	177	18.7%	2,303	18.4%	7,095	19.8%
5 Person Households	91	9.6%	1,228	9.8%	3,833	10.7%
6 Person Households	48	5.1%	630	5.0%	1,904	5.3%
7 or More Person Households	48	5.1%	413	3.3%	1,120	3.1%

Household Income Distribution (2019)

HH Income \$200,000 or More	95	10.0%	1,634	13.0%	3,963	11.1%
HH Income \$150,000 to \$199,999	102	10.8%	1,580	12.6%	4,942	13.8%
HH Income \$125,000 to \$149,999	112	11.9%	1,417	11.3%	4,098	11.4%
HH Income \$100,000 to \$124,999	166	17.5%	1,670	13.3%	4,412	12.3%
HH Income \$75,000 to \$99,999	133	14.1%	1,868	14.9%	5,693	15.9%
HH Income \$50,000 to \$74,999	133	14.1%	1,765	14.1%	5,397	15.1%
HH Income \$35,000 to \$49,999	93	9.8%	1,008	8.0%	3,108	8.7%
HH Income \$25,000 to \$34,999	57	6.0%	572	4.6%	1,442	4.0%
HH Income \$15,000 to \$24,999	38	4.0%	475	3.8%	1,308	3.7%
HH Income \$10,000 to \$14,999	5	0.5%	177	1.4%	360	1.0%
HH Income Under \$10,000	13	1.4%	360	2.9%	1,081	3.0%

Household Vehicles (2019)

Households 0 Vehicles Available	11	1.2%	128	1.0%	426	1.2%
Households 1 Vehicle Available	106	11.2%	2,313	18.5%	7,812	21.8%
Households 2 Vehicles Available	391	41.4%	5,856	46.8%	17,601	49.2%
Households 3 or More Vehicles Available	438	46.2%	4,228	33.8%	9,965	27.8%
Total Vehicles Available	2,469		28,742		76,762	
Average Vehicles per Household	2.6		2.3		2.1	
Owner-Occupied Household Vehicles	2,210	89.5%	26,517	92.3%	67,750	88.3%
Average Vehicles per Owner-Occupied Household	2.6		2.3		2.2	
Renter-Occupied Household Vehicles	259	10.5%	2,225	7.7%	9,012	11.7%
Average Vehicles per Renter-Occupied Household	2.4		2.0		1.7	

Travel Time (2019)

Worker Base Age 16 years or Over	1,493		18,928		54,939	
Travel to Work in 14 Minutes or Less	217	14.5%	2,210	11.7%	6,345	11.5%
Travel to Work in 15 to 29 Minutes	354	23.7%	4,397	23.2%	14,904	27.1%
Travel to Work in 30 to 59 Minutes	514	34.4%	7,094	37.5%	21,091	38.4%
Travel to Work in 60 Minutes or More	162	10.8%	2,265	12.0%	6,048	11.0%
Work at Home	207	13.9%	2,205	11.7%	5,982	10.9%
Average Minutes Travel to Work	29.7		30.9		30.6	

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Queen Creek, AZ 85142

Transportation To Work (2019)

	1 mi radius		3 mi radius		5 mi radius	
Worker Base Age 16 years or Over	1,493		18,928		54,939	
Drive to Work Alone	1,126	75.4%	14,097	74.5%	41,152	74.9%
Drive to Work in Carpool	116	7.8%	1,878	9.9%	5,611	10.2%
Travel to Work by Public Transportation	5	0.4%	231	1.2%	652	1.2%
Drive to Work on Motorcycle	3	0.2%	85	0.5%	203	0.4%
Bicycle to Work	7	0.5%	86	0.5%	262	0.5%
Walk to Work	4	0.3%	170	0.9%	593	1.1%
Other Means	25	1.7%	175	0.9%	483	0.9%
Work at Home	207	13.9%	2,205	11.7%	5,982	10.9%

Daytime Demographics (2019)

Total Businesses	137		728		1,776	
Total Employees	852		7,500		16,630	
Company Headquarter Businesses	-	-	-	-	-	-
Company Headquarter Employees	-	-	-	-	5	-
Employee Population per Business	6.2 to 1		10.3 to 1		9.4 to 1	
Residential Population per Business	22.0 to 1		53.2 to 1		63.8 to 1	
Adj. Daytime Demographics Age 16 Years or Over	1,697		18,476		45,598	

Labor Force

Labor Population Age 16 Years or Over (2019)	2,289		29,123		83,546	
Labor Force Total Males (2019)	1,148	50.1%	14,394	49.4%	41,063	49.2%
Male Civilian Employed	793	69.1%	10,157	70.6%	30,463	74.2%
Male Civilian Unemployed	22	1.9%	253	1.8%	928	2.3%
Males in Armed Forces	-	-	-	-	42	0.1%
Males Not in Labor Force	333	29.0%	3,984	27.7%	9,630	23.5%
Labor Force Total Females (2019)	1,141	49.9%	14,729	50.6%	42,483	50.8%
Female Civilian Employed	651	57.0%	7,988	54.2%	24,052	56.6%
Female Civilian Unemployed	12	1.0%	267	1.8%	718	1.7%
Females in Armed Forces	-	-	2	-	20	-
Females Not in Labor Force	479	42.0%	6,472	43.9%	17,693	41.6%
Unemployment Rate	33	1.4%	520	1.8%	1,646	2.0%

Occupation (2019)

Occupation Population Age 16 Years or Over	1,444		18,145		54,515	
Occupation Total Males	793	54.9%	10,157	56.0%	30,463	55.9%
Occupation Total Females	651	45.1%	7,988	44.0%	24,052	44.1%
Management, Business, Financial Operations	265	18.4%	4,068	22.4%	11,981	22.0%
Professional, Related	299	20.7%	4,526	24.9%	14,156	26.0%
Service	269	18.6%	2,204	12.1%	7,081	13.0%
Sales, Office	353	24.4%	4,786	26.4%	14,357	26.3%
Farming, Fishing, Forestry	18	1.2%	65	0.4%	136	0.2%
Construction, Extraction, Maintenance	109	7.6%	1,206	6.6%	3,103	5.7%
Production, Transport, Material Moving	132	9.1%	1,290	7.1%	3,701	6.8%
White Collar Workers	917	63.5%	13,380	73.7%	40,494	74.3%
Blue Collar Workers	527	36.5%	4,765	26.3%	14,021	25.7%

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Units In Structure (2019)

Total Units	858		9,226		23,679	
1 Detached Unit	829	96.7%	11,760	127.5%	33,227	140.3%
1 Attached Unit	25	2.9%	186	2.0%	368	1.6%
2 Units	-	-	8	-	28	0.1%
3 to 4 Units	6	0.6%	35	0.4%	183	0.8%
5 to 9 Units	3	0.4%	30	0.3%	391	1.7%
10 to 19 Units	2	0.3%	24	0.3%	372	1.6%
20 to 49 Units	-	-	15	0.2%	199	0.8%
50 or More Units	4	0.4%	53	0.6%	445	1.9%
Mobile Home or Trailer	76	8.8%	352	3.8%	512	2.2%
Other Structure	-	-	62	0.7%	80	0.3%

Homes Built By Year (2019)

Homes Built 2014 or later	33	3.4%	1,571	11.9%	4,167	11.2%
Homes Built 2010 to 2013	19	1.9%	1,173	8.9%	4,164	11.2%
Homes Built 2000 to 2009	378	38.6%	6,795	51.6%	20,770	55.8%
Homes Built 1990 to 1999	237	24.2%	1,331	10.1%	2,809	7.5%
Homes Built 1980 to 1989	155	15.8%	693	5.3%	1,556	4.2%
Homes Built 1970 to 1979	99	10.2%	611	4.6%	1,343	3.6%
Homes Built 1960 to 1969	11	1.1%	184	1.4%	515	1.4%
Homes Built 1950 to 1959	8	0.8%	105	0.8%	311	0.8%
Homes Built 1940 to 1949	6	0.6%	35	0.3%	94	0.3%
Homes Built Before 1939	1	0.1%	28	0.2%	75	0.2%
Median Age of Homes	20.3	yrs	14.8	yrs	14.0	yrs

Home Values (2019)

Owner Specified Housing Units	747		7,535		18,908	
Home Values \$1,000,000 or More	2	0.3%	100	1.3%	241	1.3%
Home Values \$750,000 to \$999,999	19	2.5%	377	5.0%	869	4.6%
Home Values \$500,000 to \$749,999	107	14.3%	1,473	19.6%	3,053	16.1%
Home Values \$400,000 to \$499,999	170	22.8%	1,937	25.7%	3,880	20.5%
Home Values \$300,000 to \$399,999	188	25.2%	3,053	40.5%	7,662	40.5%
Home Values \$250,000 to \$299,999	91	12.2%	1,666	22.1%	4,876	25.8%
Home Values \$200,000 to \$249,999	114	15.2%	1,195	15.9%	4,694	24.8%
Home Values \$175,000 to \$199,999	39	5.2%	464	6.2%	1,925	10.2%
Home Values \$150,000 to \$174,999	47	6.3%	387	5.1%	1,501	7.9%
Home Values \$125,000 to \$149,999	9	1.2%	130	1.7%	438	2.3%
Home Values \$100,000 to \$124,999	18	2.4%	144	1.9%	383	2.0%
Home Values \$90,000 to \$99,999	3	0.4%	32	0.4%	68	0.4%
Home Values \$80,000 to \$89,999	-	-	10	0.1%	41	0.2%
Home Values \$70,000 to \$79,999	-	-	17	0.2%	39	0.2%
Home Values \$60,000 to \$69,999	-	-	11	0.1%	47	0.3%
Home Values \$50,000 to \$59,999	2	0.3%	18	0.2%	41	0.2%
Home Values \$35,000 to \$49,999	-	-	33	0.4%	109	0.6%
Home Values \$25,000 to \$34,999	-	-	28	0.4%	76	0.4%
Home Values \$10,000 to \$24,999	12	1.6%	84	1.1%	237	1.3%
Home Values Under \$10,000	10	1.4%	177	2.3%	325	1.7%
Owner-Occupied Median Home Value	\$341,215		\$348,118		\$314,179	
Renter-Occupied Median Rent	\$1,395		\$1,372		\$1,209	

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Total Annual Consumer Expenditure (2019)

Total Household Expenditure	\$76.7 M	\$1.05 B	\$2.87 B
Total Non-Retail Expenditure	\$40.25 M	\$554.47 M	\$1.51 B
Total Retail Expenditure	\$36.45 M	\$498.66 M	\$1.36 B
Apparel	\$2.74 M	\$37.74 M	\$103.08 M
Contributions	\$2.54 M	\$35.7 M	\$96.02 M
Education	\$2.37 M	\$33.86 M	\$91.76 M
Entertainment	\$4.43 M	\$61.2 M	\$166.35 M
Food and Beverages	\$11.26 M	\$153.8 M	\$419.9 M
Furnishings and Equipment	\$2.75 M	\$37.91 M	\$103.12 M
Gifts	\$1.89 M	\$26.7 M	\$71.68 M
Health Care	\$6.4 M	\$87.3 M	\$237 M
Household Operations	\$3.02 M	\$41.94 M	\$113.87 M
Miscellaneous Expenses	\$1.45 M	\$19.97 M	\$54.31 M
Personal Care	\$1.03 M	\$14.15 M	\$38.56 M
Personal Insurance	\$566.21 K	\$7.9 M	\$21.35 M
Reading	\$165.98 K	\$2.3 M	\$6.23 M
Shelter	\$15.95 M	\$219.04 M	\$597.74 M
Tobacco	\$424.65 K	\$5.63 M	\$15.46 M
Transportation	\$14.19 M	\$193.28 M	\$527.34 M
Utilities	\$5.51 M	\$74.69 M	\$203.85 M

Monthly Household Consumer Expenditure (2019)

Total Household Expenditure	\$6,755		\$7,007		\$6,674	
Total Non-Retail Expenditure	\$3,544	52.5%	\$3,689	52.6%	\$3,512	52.6%
Total Retail Expenditures	\$3,210	47.5%	\$3,318	47.4%	\$3,162	47.4%
Apparel	\$241	3.6%	\$251	3.6%	\$240	3.6%
Contributions	\$224	3.3%	\$238	3.4%	\$223	3.3%
Education	\$209	3.1%	\$225	3.2%	\$214	3.2%
Entertainment	\$390	5.8%	\$407	5.8%	\$387	5.8%
Food and Beverages	\$992	14.7%	\$1,023	14.6%	\$977	14.6%
Furnishings and Equipment	\$242	3.6%	\$252	3.6%	\$240	3.6%
Gifts	\$167	2.5%	\$178	2.5%	\$167	2.5%
Health Care	\$564	8.3%	\$581	8.3%	\$552	8.3%
Household Operations	\$266	3.9%	\$279	4.0%	\$265	4.0%
Miscellaneous Expenses	\$128	1.9%	\$133	1.9%	\$126	1.9%
Personal Care	\$91	1.3%	\$94	1.3%	\$90	1.3%
Personal Insurance	\$50	0.7%	\$53	0.8%	\$50	0.7%
Reading	\$15	0.2%	\$15	0.2%	\$15	0.2%
Shelter	\$1,405	20.8%	\$1,457	20.8%	\$1,391	20.8%
Tobacco	\$37	0.6%	\$37	0.5%	\$36	0.5%
Transportation	\$1,250	18.5%	\$1,286	18.4%	\$1,227	18.4%
Utilities	\$485	7.2%	\$497	7.1%	\$474	7.1%

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